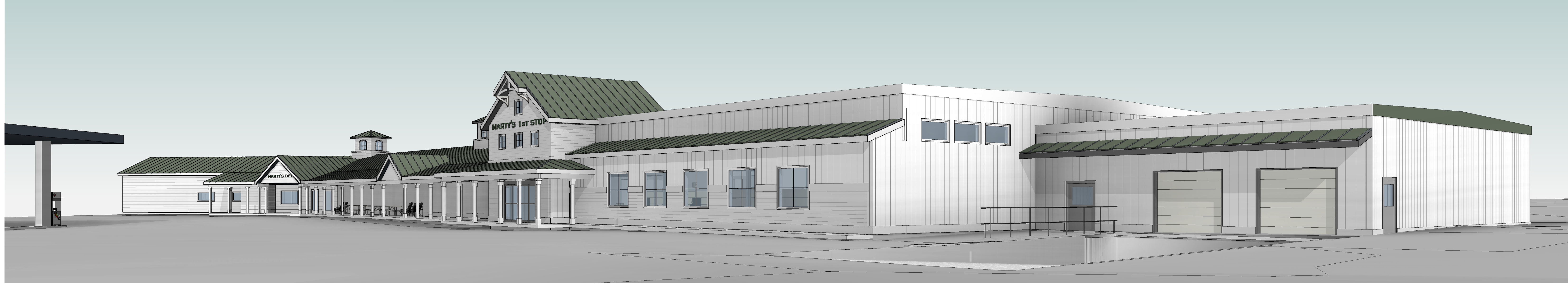


# MARTY'S FIRST STOP

421 US-2, Danville Vermont 05828  
May 14, 2024



## CIVIL ENGINEERS

### Mumley Engineering, INC.

46 Hutchins Street  
Morrisville, Vermont 05661  
Tel: (802) 881-6314  
www.mumleyengineering.com

## ARCHITECTS

### EHDanson Associates, PLLC

357 Western Avenue, Suit 104  
St. Johnsbury, Vermont 05819-2795  
Tel: 802-748-5239  
www.ehdanson.com

## STRUCTURAL ENGINEER

### DeWolfe Engineering Associates

317 River Street  
P.O. Box 1576  
Montpelier, Vermont 05601-1576  
Tel: 802-223-4727  
www.dirtsteel.com

## MECHANICAL ENGINEERS

### Engineering Services of Vermont

Mechanical & Electrical Engineers  
5430 Waterbury-Stowe Road  
Waterbury Center, Vermont 05677  
Tel: 802-882-8449  
www.EngineeringVermont.com

## LANDSCAPE ARCHITECT

### J Miller Landscape Architecture

2095 VT Route 18  
Waterford, Vermont 05819  
Tel: 802-535-8586  
www.jmillerlandscape.com

## LIST OF DRAWINGS

### CIVIL

SHEET	TITLE	REV	DATE
C-1	SITE PLAN		

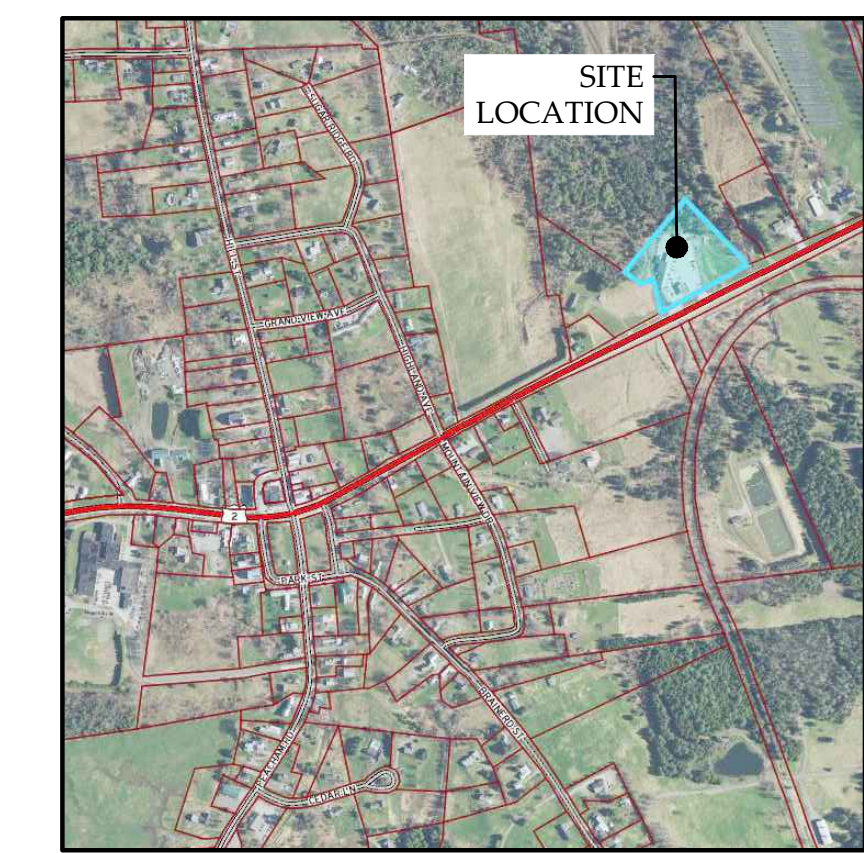
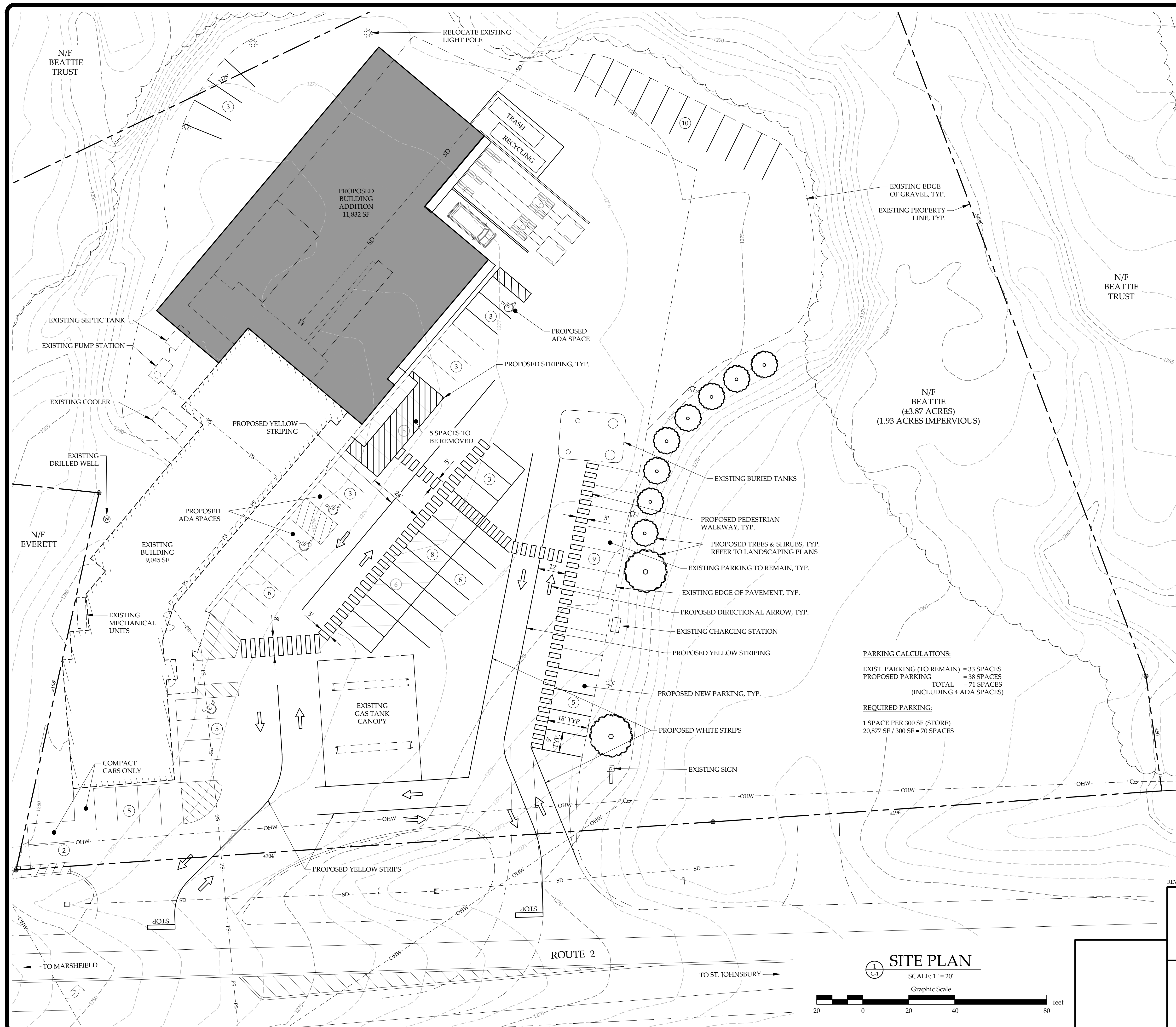
### LANDSCAPE

SHEET	TITLE	REV	DATE
L1.0	LANDSCAPE PLAN		

### ARCHITECTURAL

SHEET	TITLE	REV	DATE
AD100	BASEMENT - DEMO & EXISTING CONDITIONS		
AD101	LVL 1 - DEMO PLANS & EXISTING CONDITIONS		
A100	SITE PLAN		
A101	LVL 1 - PARTIAL FLOOR PLAN		
A102	LVL 2 - FLOOR PLAN & BASEMENT PLAN		
A201	EXTERIOR ELEVATIONS		
A901	PERSPECTIVE		
A902	PERSPECTIVES		





**SITE LOCATION MAP**  
NOT TO SCALE

**LEGEND**

N/F	NOW OR FORMERLY OWNED BY
●	EXISTING CONCRETE MONUMENT
○	IRON PIPE / REBAR FOUND
⊙	EXISTING POLE LIGHT
⊠	EXISTING CATCH BASIN
⊕	EXISTING SIGN
⊖	EXISTING UTILITY POLE
⊗	EXISTING HYDRANT
⊘	EXISTING DRILLED WELL
---	EXISTING PROPERTY LINE
- - -	ADJUTTER PROPERTY LINE
---	EXISTING TREE LINE
-SS-	EXISTING GRAVITY SEWER LINE
-PS-	EXISTING PRESSURE SEWER LINE
-SD-	EXISTING STORMWATER DRAIN
-OHW-	EXISTING OVERHEAD WIRES
-50-	EXISTING CONTOUR

**PURPOSE OF PLAN:**  
PROPOSED BUILDING ADDITION WITH NEW ENTRY, LOADING DOCK & ADDITIONAL PARKING SPACES.

**OWNER OF RECORD:**  
MARTIN & CATHERINE BEATTIE TRUST  
PO BOX 30  
DANVILLE, VT 05828

- PLAN REFERENCES:**
- 1) TOPOGRAPHIC, PARCEL, AND ORTHOGRAPHIC INFORMATION TAKEN ELECTRONICALLY FROM THE VERMONT CENTER FOR GEOGRAPHIC INFORMATION ON 06-19-23.
  - 2) PARCEL & SITE INFORMATION TAKEN FROM PLAN ENTITLED "PROPOSED STORE PARCEL, PLAN PREPARED FOR MARTIN J. & CATHERINE J. BEATTIE, DANVILLE, VERMONT", PREPARED BY DUSSAULT SURVEYING, DATED SEPTEMBER, 2016.
  - 3) SITE INFORMATION TAKEN FROM PLAN ENTITLED "EXISTING CONDITIONS SITE PLAN, MARTY'S FIRST STOP, RECORD DRAWING", LEACH ENGINEERING CONSULTANTS, DATED AUGUST 23, 1997.
  - 4) SITE INFORMATION TAKEN FROM PLAN ENTITLED "PROPOSED SITE PLAN, MARTY'S ONE-STOP", PREPARED BY MARK G STEWART ARCHITECT, DATED OCTOBER 10, 2007.
  - 5) EXISTING BUILDING FOOTPRINT TAKEN FROM PLAN ENTITLED "PROPOSED FLOOR PLAN FOR MARTY'S FIRST STOP", PREPARED BY EH DANSON ASSOCIATES, PLLC ARCHITECTS, DATED 12/8/2020.
- NOTES:**
- 1) THIS DRAWING IS NOT A BOUNDARY SURVEY PLAT. BOUNDARY LINE INFORMATION SHOWN IS BASED ON PLAN REFERENCE #2. THE PROPERTY LINES, EASEMENTS AND OTHER REAL PROPERTY DESCRIPTIONS PROVIDED ON THIS DRAWING ARE FOR ILLUSTRATION PURPOSES ONLY. THEY DO NOT DEFINE LEGAL RIGHTS OR MEET LEGAL REQUIREMENTS FOR A LAND SURVEY AS DESCRIBED IN V.S.A. TITLE 27 SECTION 1403 AND SHALL NOT BE USED IN LIEU OF A SURVEY AS THE BASIS OF ANY LAND TRANSFER OR ESTABLISHMENT OF ANY PROPERTY RIGHT.
  - 2) THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES OR UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION. APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK.
  - 3) THIS TOPOGRAPHIC SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF "DIG SAFE" MARKINGS. UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" BEFORE COMMENCING ANY WORK AND SHALL PRESERVE ALL EXISTING UTILITIES NOT SPECIFIED TO BE REMOVED OR ABANDONED AS PART OF THE PROJECT.

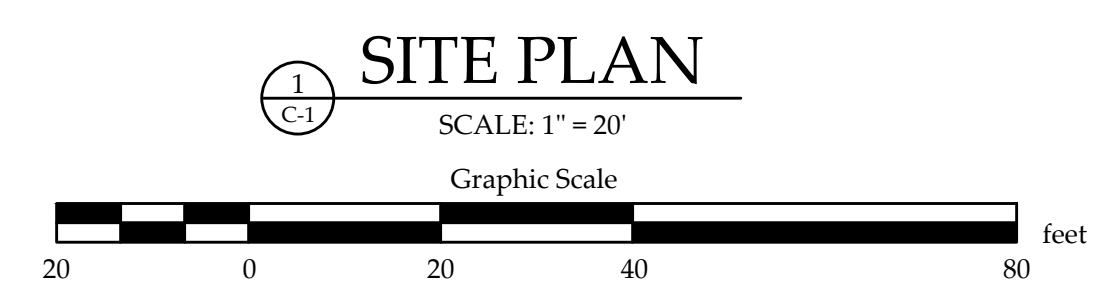
**PARKING CALCULATIONS:**  
EXIST. PARKING (TO REMAIN) = 33 SPACES  
PROPOSED PARKING = 38 SPACES  
**TOTAL = 71 SPACES**  
(INCLUDING 4 ADA SPACES)

**REQUIRED PARKING:**  
1 SPACE PER 300 SF (STORE)  
20,877 SF / 300 SF = 70 SPACES

REVISION: 05/13/24 - REVISED PARKING, ADD PEDESTRIAN WALKWAYS & LANDSCAPING

**SITE PLAN**  
MARTY'S FIRST STOP  
421 U.S. ROUTE 2  
DANVILLE, VERMONT

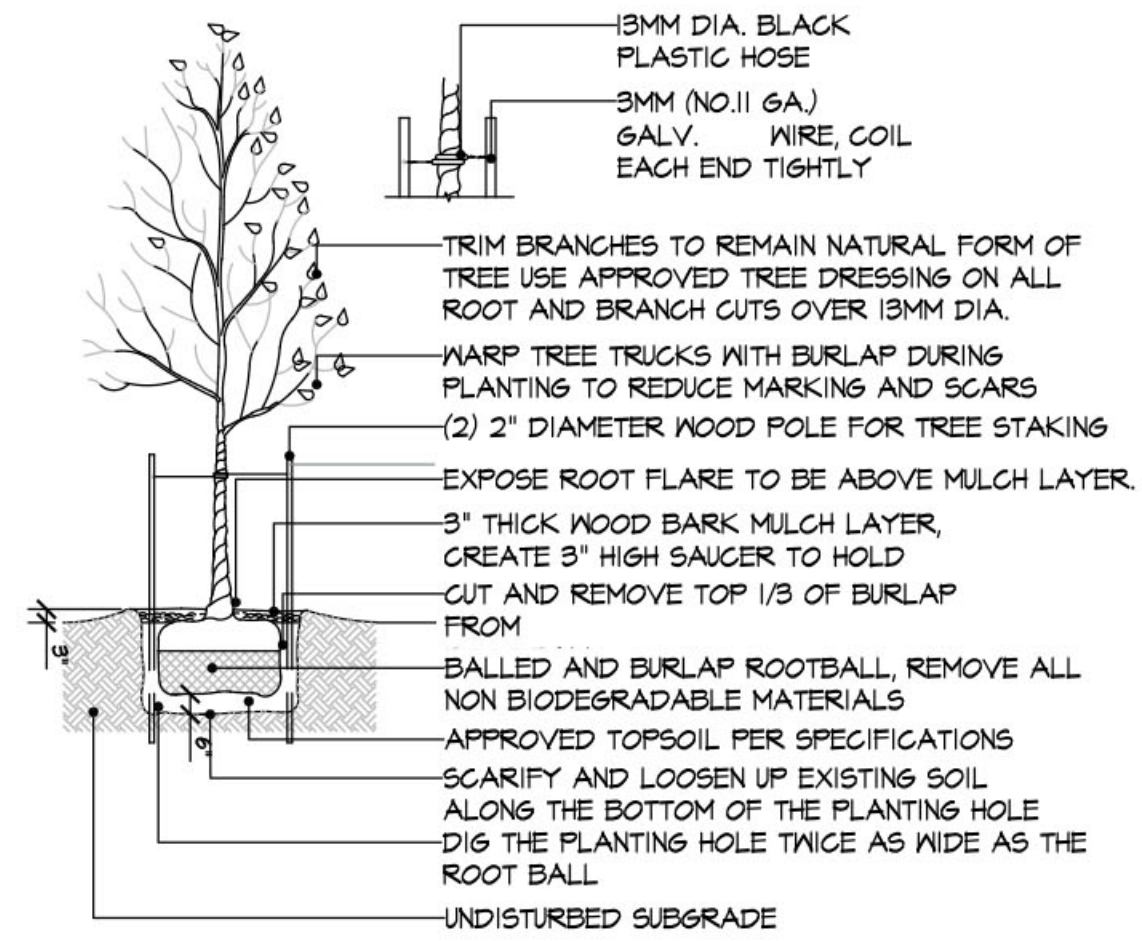
<p>MUMLEY ENGINEERING, INC. 46 HUTCHINS STREET MORRISVILLE, VT 05661 WWW.MUMLEYENGINEERING.COM COPYRIGHT © 2024 - MUMLEY ENGINEERING, INC.</p>	PROJECT NO.....23041	SHEET NO.
	DRAWN BY.....WEH	<h1>C-1</h1>
	CHECKED BY.....TRM	
	SCALE.....1" = 20'	
DATE.....03/13/24	1 OF 1 SHEETS	





**PLANTING PLAN NOTES**

1. THE EXISTING CONDITIONS BACKGROUND WAS AN ELECTRONIC CAD FILE AS SUPPLIED BY EH DANSON ON 05.08.2024.
2. ALL OF THE PROPOSED PLANT MATERIAL SHALL BE INSTALLED AS SHOWN ON THE CONTRACT DOCUMENTS AND SPECIFICATIONS.
3. IT IS THE LANDSCAPE CONTRACTOR RESPONSIBILITY TO COORDINATE ALL ELEMENTS WITH THE GENERAL CONTRACTOR AND IF NECESSARY OTHER SUB CONTRACTORS AS REQUIRED TO SUCCESSFULLY PLANT ALL OF THE PROPOSED MATERIAL.
4. IT IS THE LANDSCAPE CONTRACTOR RESPONSIBILITY TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO STARTING WORK. ANY CONFLICTS THAT ARISE DURING THIS TIME SHALL BE BROUGHT TO THE DESIGN TEAMS ATTENTION IMMEDIATELY.
5. THE PLANT MATERIAL INSTALLATION SHALL HAPPEN BEFORE THE ROUGH GRADING HAS BEEN APPROVED BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
6. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN. ALL TREES AND SHRUBS OF THE SAME SPECIES AND SIZE SHALL HAVE MATCHING HEIGHT AND FORM UNLESS OTHERWISE NOTED ON THE PLANS AND BE APPROVED BY LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
7. THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN IN THE CONTRACT DOCUMENTS. DISCREPANCIES IN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY SO I AM ABLE TO RESOLVE THE ISSUE IN A TIMELY MANNER.
8. ALL PROPOSED TREES, SHRUBS AND ORNAMENTAL GRASSES SHALL BE STAKED PRIOR TO EXCAVATING OF THE PLANTING AREAS. ADDITIONALLY THE CONTRACTOR SHALL PAINT ON THE GROUND THE EXTENDS OF THE PROPOSED PLANT BEDS AND ALSO SHOW THE AREAS OF THE GROUND COVER AND PERENNIALS. THE FINAL LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
9. THE CONTRACTOR SHALL FURNISH PLANT MATERIAL FREE OF PESTS OR PLANT DISEASES. PRESELECTED OR @TAGGED MATERIAL SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECT AND CERTIFIED PEST AND DISEASE FREE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO WARRANTY ALL PLANT MATERIAL FOR (1) ONE FULL YEAR FROM THE TIME OF FINAL ACCEPTANCE OF THE PLANTING.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING MATERIALS THAT WERE DAMAGED DURING PLANTING OPERATIONS.
11. ALL TREES, PLANT BEDS AND GROUND COVER SHALL BE COVERED WITH 3" OF ORGANIC BARK MULD AS NOTED IN THE SPECIFICATIONS.



**TREE PLANTING**

SCALE = N.T.S.

LANDSCAPE REQUIREMENTS	REQUIRED	PROPOSED
SECTION 405.1.D. OFF-STREET PARKING AND LOADING	ALL OFF-STREET PARKING AREAS IN EXCESS OF 10 PARKING SPACES SHALL INCORPORATE LANDSCAPED AREAS WHICH AT MINIMUM EQUAL 10% OF THE TOTAL PARKING AREA (80 SQUARE FEET PER SPACE), UNLESS OTHERWISE APPROVED BY THE DEVELOPMENT REVIEW BOARD DUE TO PHYSICAL SITE OR ACCESS CONSTRAINTS. LANDSCAPED AREAS SHALL BE INTEGRATED INTO PARKING LOT AND STORM WATER MANAGEMENT DESIGN AND SHALL BE REGULARLY MAINTAINED.	PROPOSED PARKING SPACES = 10 10 SPACES X 80 SF = 2,100 SF 2,100 SF LANDSCAPING REQUIRED (3) NEW PLANT BEDS 2 SHADE TREES AND 1 EVERGREEN TREES

**PLANT SCHEDULE**

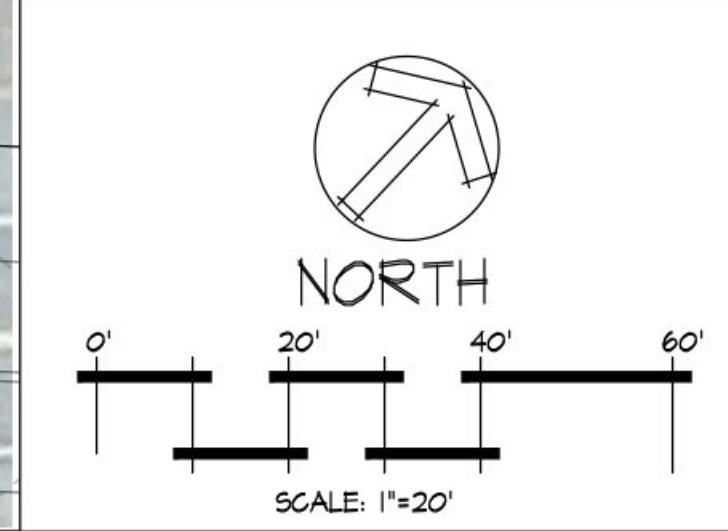
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
<b>SHADE TREES</b>				
AFAB	2	ACER FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	2.5-3" CAL.
<b>EVERGREEN TREES</b>				
TON	7	THUJA OCCIDENTALIS 'NIGRA'	DARK AMERICAN ARBORVITAE	6-7' HT.



AUTUMN BLAZE MAPLE



DARK AMERICAN ARBORVITAE



**EHDanson**  
Associates, LLC

**Architects**

St. Johnsbury, Vermont  
802.748.8239  
www.ehdanson.com

LANDSCAPE ARCHITECT

**LANDSCAPE ARCHITECTURE**

2015 VT. RT. 18  
WATERFORD, VT 05681  
P. 802.555.8566  
E. JAY@LANDSCAPE.COM

**PROGRESS SET**  
NOT FOR CONSTRUCTION

Proposed Addition for:  
**Marty's 1st Stop**  
421 Route 2 Danville, Vermont

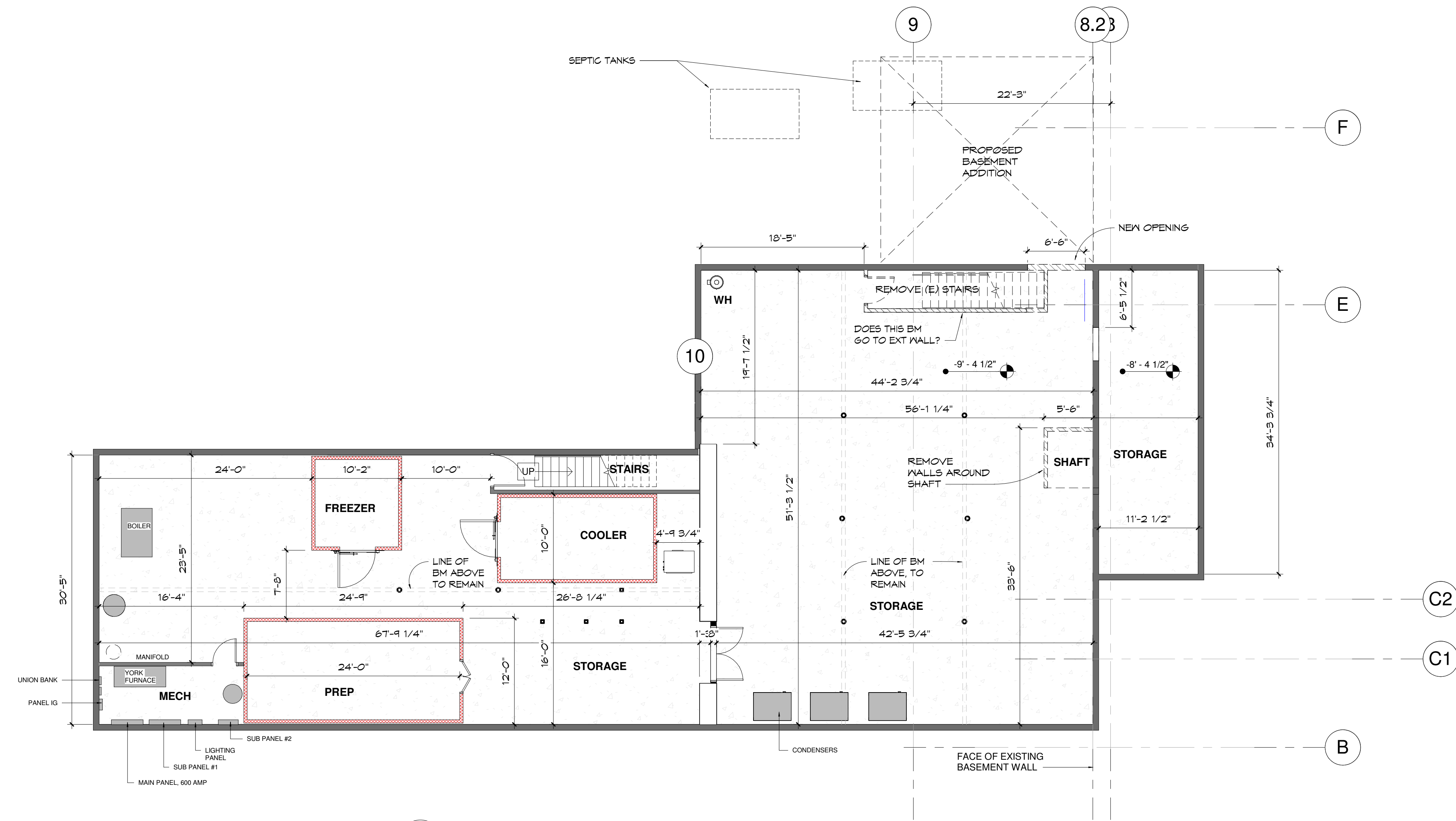
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DRAWN BY:	JPM

REVISION	
DATE	
NUMBER	

SHEET NUMBER



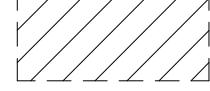

**L1.0**





**1 BASEMENT - DEMO & EXISTING CONDITIONS**  
SCALE: 1/8" = 1'-0"

**LEGEND**

-  EXISTING WALLS
-  WALLS TO BE REMOVED
-  PHASE 1 - DEMO AREA
-  PHASE 2 - DEMO AREA

**SHEET NOTES**

- 1) THE INTENT OF THESE DRAWINGS IS TO SHOW A BASIC DEMOLITION AND DOES NOT INDICATE EVERY INDIVIDUAL ITEM TO BE REMOVED. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE AND COORDINATE THE EXTENT OF DEMOLITION WITH ALL TRADES. IT IS EXPECTED THAT ALL CONTRACTORS WILL REVIEW FIELD CONDITIONS PRIOR TO SUBMITTING BID AND THEREFORE HAVE KNOWLEDGE OF DEMOLITION REQUIREMENTS BASED ON THE PROJECT SCOPE.
- 2) EXISTING CONDITIONS BASED ON FIELD OBSERVATION OR GENERALLY OBSERVABLE ELEMENTS AND ORIGINAL DRAWINGS PROVIDED BY THE OWNER. ACTUAL CONDITIONS MAY VARY. ORIGINAL DRAWINGS WILL BE AVAILABLE FOR VIEWING.
- 3) COORDINATE CUTTING PATCHING & DEMOLITION WITH REQUIREMENTS OF MECHANICAL & ELECTRICAL TRADES. ALL EXISTING FINISHES AFFECTED BY MECHANICAL & ELECTRICAL REMOVAL SHALL BE REPAIRED TO MATCH EXISTING ADJACENT CONSTRUCTION.
- 4) ALL ITEMS DEMOLISHED SHALL BE DISPOSED OF PROPERLY, MEETING ALL APPLICABLE REGULATIONS. ALL PROCEDURES TO FOLLOW ESTABLISHED WASTE MANAGEMENT PLAN.
- 5) SCRAPE, SAND, CLEAN AND PREPARE ALL SURFACES TO REMAIN IN PREPARATION FOR NEW FINISH WHERE INDICATED ON THE FINISH SCHEDULE AND/OR DRAWINGS.
- 6) THE EXISTING CONCRETE SLAB WILL BE REQUIRED TO BE CUT AND PATCH TO ACCOMMODATE INSTALLATION OF NEW PLUMBING. THE CONTRACTOR IS RESPONSIBLE FOR CALCULATION OF THE AREA OF THE CONCRETE SLAB TO BE REMOVED & REPLACED. THERE WILL BE NO ADDITIONAL COST FOR INCREASES IN SLAB REMOVAL AREAS NOT CALCULATED.
- 7) CUT AND PATCH TO ACCOMMODATE THE INSTALLATION OF ALL NEW CONSTRUCTION WHETHER OR NOT IT IS SHOWN ON DEMOLITION DRAWINGS. COORDINATED SIZES ACCORDINGLY.
- 8) THE CONTRACTORS SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING ELEMENTS TO REMAIN FROM DAMAGE THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS. ELEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER TO THE SATISFACTION OF THE OWNER AND ARCHITECT.
- 9) PATCH ALL HOLES IN WALLS, FLOORS AND CEILING OCCURRED DURING DEMOLITION AND CONSTRUCTION. PROVIDE SMOOTH CONTINUOUS FINISH TO MATCH ADJACENT EXISTING CONSTRUCTION. NO TRANSITION LINES ARE TO BE VISIBLE AFTER PATCH WORK IS COMPLETE.
- 10) DAMAGED CAUSED TO MATERIAL OF SURFACES NOT SCHEDULED TO BE REMOVED, BECOMES THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ARCHITECT AND OWNER.

**KEYED NOTES**

- PHASE 1 - DEMO**
- ① RE-LOCATE SEPTIC TANK. REFER TO CIVIL DRAWINGS
- PHASE 2 - DEMO**
- ② REMOVE STAIRS. INFILL FLOORING, MATCH EXISTING CONSTRUCTION
  - ③ REMOVE PARTITION WALLS AND DOORS.
  - ④ CUT OPENING INTO EXISTING FOUNDATION WALL TO ACCESS NEW BASEMENT AREA.

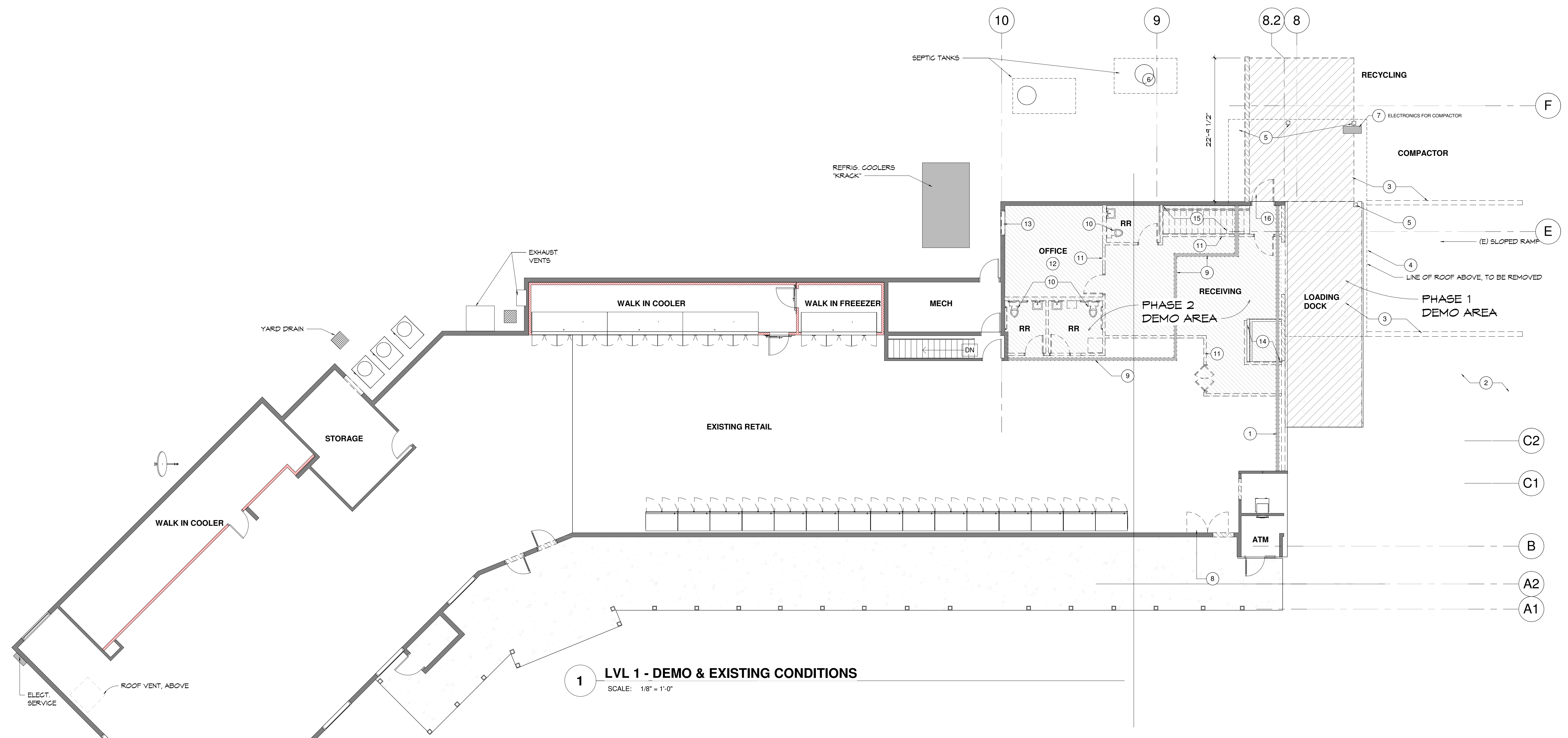
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			DATE:	06/22/17
			DRAWN BY:	SLM

BASEMENT - DEMO & EXISTING CONDITIONS

SHEET NUMBER

**AD100**





**1 LVL 1 - DEMO & EXISTING CONDITIONS**  
SCALE: 1/8" = 1'-0"

**SHEET NOTES**

- THE INTENT OF THESE DRAWINGS IS TO SHOW A BASIC DEMOLITION AND DOES NOT INDICATE EVERY INDIVIDUAL ITEM TO BE REMOVED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND COORDINATE THE EXTENT OF DEMOLITION WITH ALL TRADES. IT IS EXPECTED THAT ALL CONTRACTORS WILL REVIEW FIELD CONDITIONS PRIOR TO SUBMITTING BID AND THEREFORE HAVE KNOWLEDGE OF DEMOLITION REQUIREMENTS BASED ON THE PROJECT SCOPE.
- EXISTING CONDITIONS BASED ON FIELD OBSERVATION OR GENERALLY OBSERVABLE ELEMENTS AND ORIGINAL DRAWINGS PROVIDED BY THE OWNER. ACTUAL CONDITIONS MAY VARY. ORIGINAL DRAWINGS WILL BE AVAILABLE FOR VIEWING.
- COORDINATE CUTTING PATCHING & DEMOLITION WITH REQUIREMENTS OF MECHANICAL, ELECTRICAL TRADES. ALL EXISTING FINISHES AFFECTED BY MECHANICAL & ELECTRICAL REMOVAL SHALL BE REPAIRED TO MATCH EXISTING ADJACENT CONSTRUCTION.
- ALL ITEMS DEMOLISHED SHALL BE DISPOSED OF PROPERLY, MEETING ALL APPLICABLE REGULATIONS. ALL PROCEDURES TO FOLLOW ESTABLISHED WASTE MANAGEMENT PLAN.
- SCRAPE, SAND, CLEAN AND PREPARE ALL SURFACES TO REMAIN IN PREPARATION FOR NEW FINISH WHERE INDICATED ON THE FINISH SCHEDULE AND/OR DRAWINGS.
- THE EXISTING CONCRETE SLAB WILL BE REQUIRED TO BE CUT AND PATCH TO ACCOMMODATE INSTALLATION OF NEW PLUMBING. THE CONTRACTOR IS RESPONSIBLE FOR CALCULATING THE AREA OF THE CONCRETE SLAB TO BE REMOVED & REPLACED. THERE WILL BE NO ADDITIONAL COST FOR INCREASES IN SLAB REMOVAL AREAS NOT CALCULATED.
- CUT AND PATCH TO ACCOMMODATE THE INSTALLATION OF ALL NEW CONSTRUCTION WHETHER OR NOT IT IS SHOWN ON DEMOLITION DRAWINGS. COORDINATED SIZES ACCORDINGLY.
- THE CONTRACTORS SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING ELEMENTS TO REMAIN FROM DAMAGE THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS. ELEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER TO THE SATISFACTION OF THE OWNER AND ARCHITECT.
- PATCH ALL HOLES IN WALLS, FLOORS AND CEILINGS OCCURRED DURING DEMOLITION AND CONSTRUCTION. PROVIDE SMOOTH CONTINUOUS FINISH TO MATCH ADJACENT EXISTING CONSTRUCTION. NO TRANSITION LINES ARE TO BE VISIBLE AFTER PATCH WORK IS COMPLETE.
- DAMAGED CAUSED TO MATERIAL OF SURFACES NOT SCHEDULED TO BE REMOVED, BECOMES THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ARCHITECT AND OWNER.

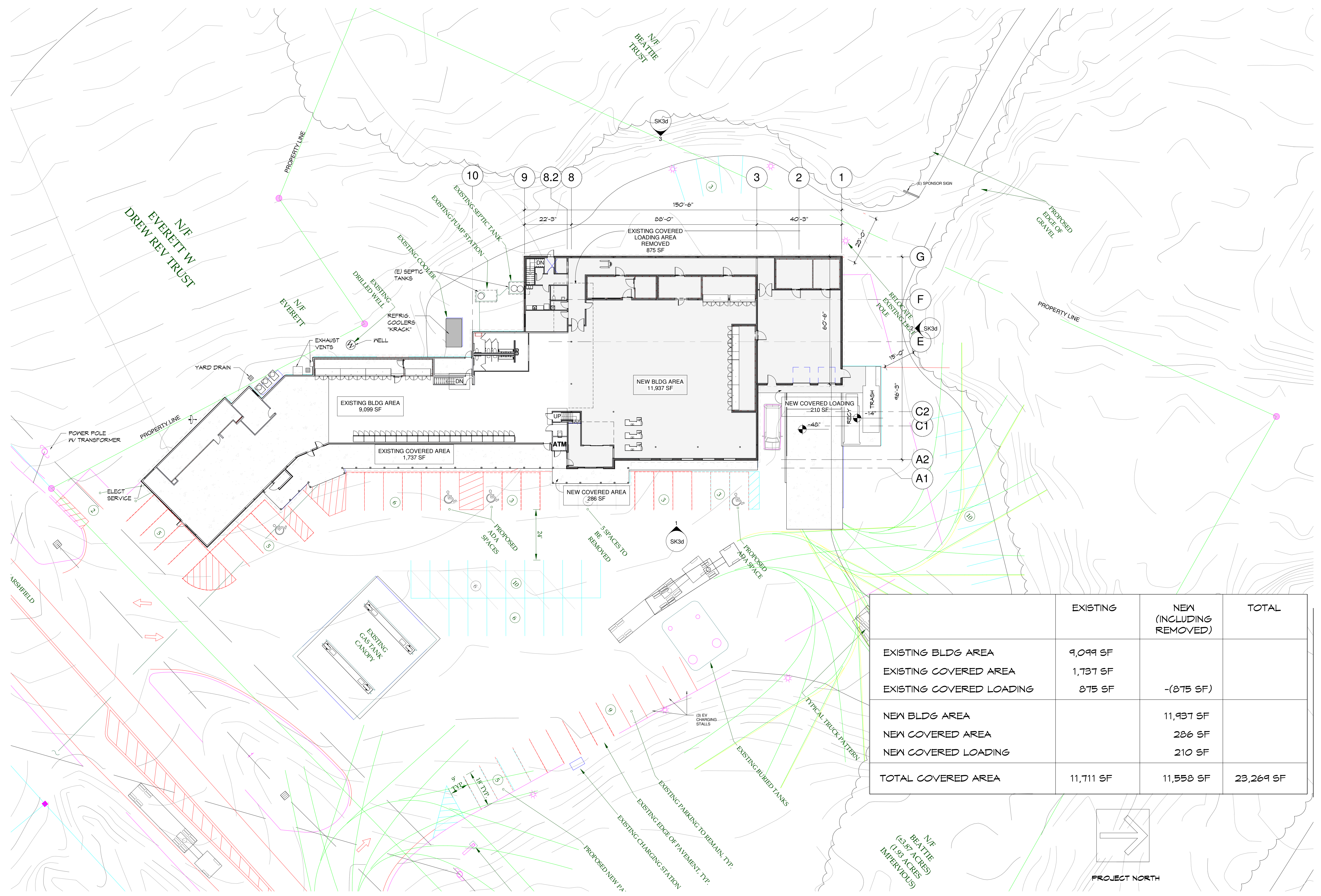
**KEYED NOTES**

- PHASE 1 - DEMO**
- PRIOR TO DEMOLITION, PROVIDE TEMPORARY 2X6 STUD FRAMED INTERIOR INSULATED PARTITION WALL WITH 5/8" GYP ON INTERIOR SIDE AND 1/2" FLY ON EXTERIOR. ANCHOR TO ROOF FRAMING.
  - REMOVE ASPHALT IN NEW BUILDING AREA.
  - REMOVE CONCRETE SLAB & FOUNDATION AT LOADING DOCK AND TRASH AREA.
  - REMOVE ROOF ASSEMBLY OVER LOADING DOCK AND TRASH AREA.
  - REMOVE WALLS & POST SUPPORTING ROOF ASSEMBLY OVER LOADING DOCK & TRASH AREA.
  - RELOCATE SEPTIC TANK, REFER TO CIVIL DRAWINGS.
  - REMOVE AND RE-INSTALL COMPACTOR ELECTRONICS.
  - ADD TEMPORARY RECEIVING DOOR DURING CONSTRUCTION OF PHASE 1. VERIFY WITH DOOR SIZE WITH OWNER.
- PHASE 2 - DEMO**
- PRIOR TO PHASE 2 DEMOLITION, PROVIDE TEMPORARY 2X6 STUD FRAMED, INSULATED WALL WITH 5/8" GYP.
  - REMOVE ALL PLUMBING FIXTURES IN EXISTING RESTROOMS. MODIFY PLUMBING TO ACCOMMODATE NEW WORK.
  - REMOVE PARTITION WALLS AND DOORS.
  - COMPLETELY REMOVE DRYWALL CEILING AND FRAMING.
  - REMOVE WINDOW, PREPARE EXISTING OPENING FOR FRAMING.
  - IN-FILL FLOORING AT BASEMENT ACCESS HOLE, MATCH ADJACENT CONSTRUCTION.
  - REMOVE STAIRS, IN-FILL FLOORING, MATCH ADJACENT CONSTRUCTION.
  - MAINTAIN DOOR UNTIL PHASE 2 CONSTRUCTION COMPLETE FOR PUBLIC ACCESS TO RESTROOM.

**LEGEND**

- EXISTING WALLS
- WALLS TO BE REMOVED
- PHASE 1 - DEMO AREA
- PHASE 2 - DEMO AREA





	EXISTING	NEW (INCLUDING REMOVED)	TOTAL
EXISTING BLDG AREA	9,099 SF		
EXISTING COVERED AREA	1,737 SF		
EXISTING COVERED LOADING	875 SF	-(875 SF)	
NEW BLDG AREA		11,937 SF	
NEW COVERED AREA		286 SF	
NEW COVERED LOADING		210 SF	
TOTAL COVERED AREA	11,711 SF	11,558 SF	23,269 SF

**1 SITE PLAN**  
SCALE: 1" = 20'-0"

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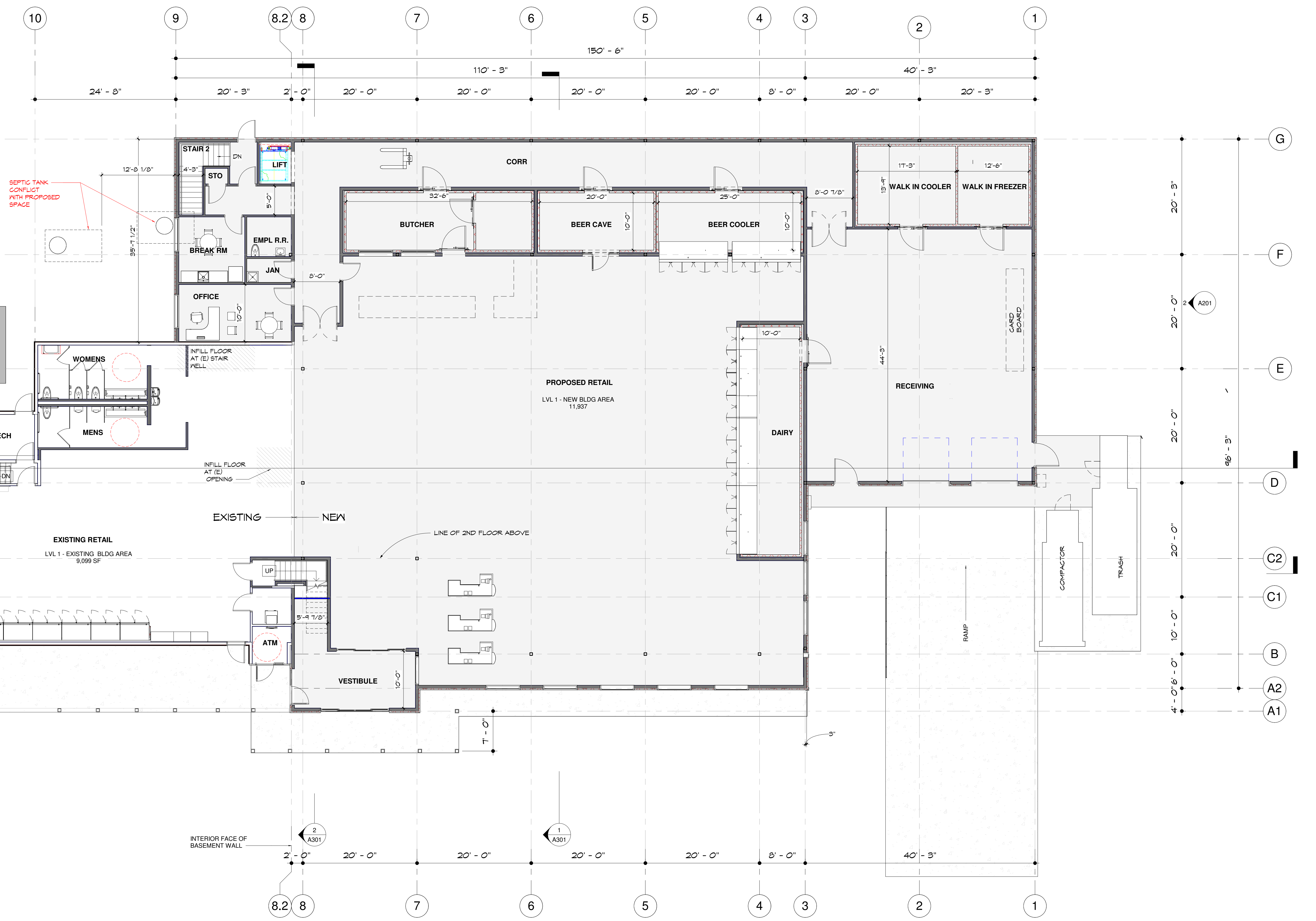
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NOT FOR CONSTRUCTION

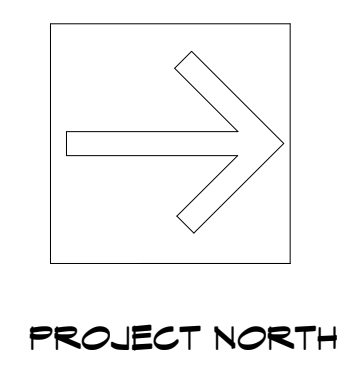
Proposed Addition for:  
**Marty's 1st Stop**  
421 Route 2 Darville, Vermont

SCALE: AS NOTED	DATE: 06/28/22	DRAWN BY: SLM
REVISION	DATE	NUMBER
LVL 1 - PARTIAL FLOOR PLAN		
SHEET NUMBER		

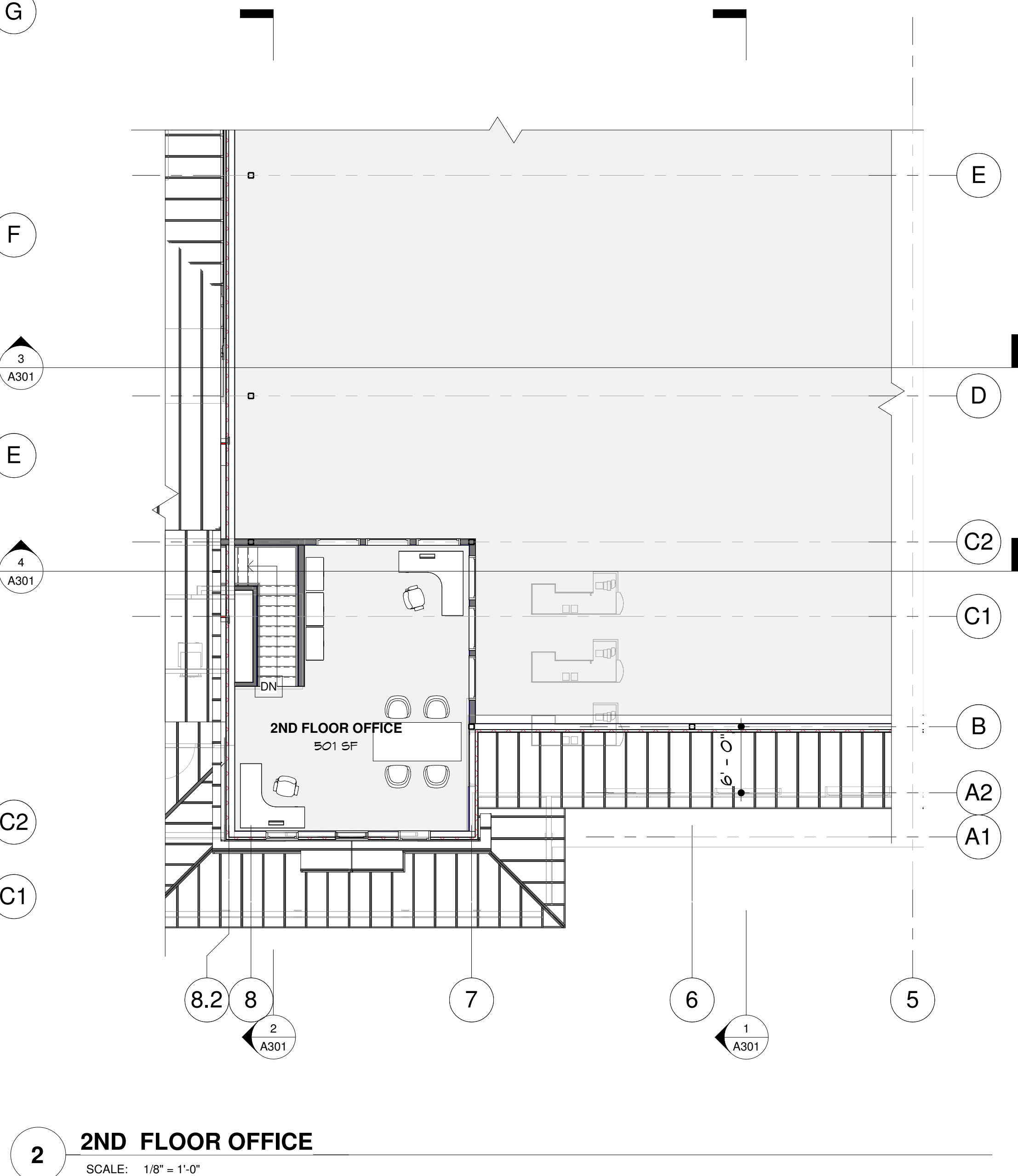
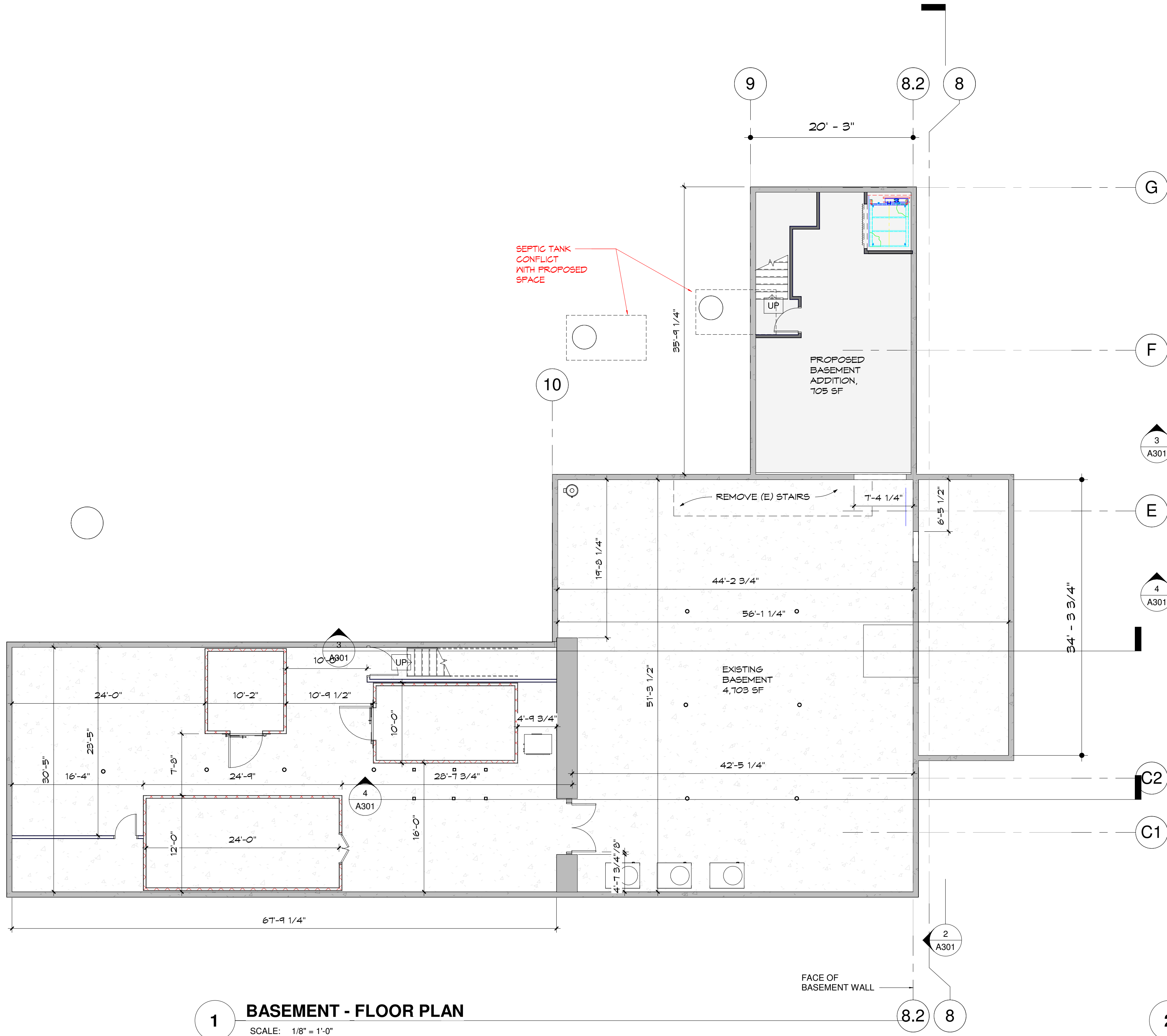
**A101**



**1 PARTIAL FLOOR PLAN**  
SCALE: 1/8" = 1'-0"







**PROGRESS SET**  
NOT FOR CONSTRUCTION

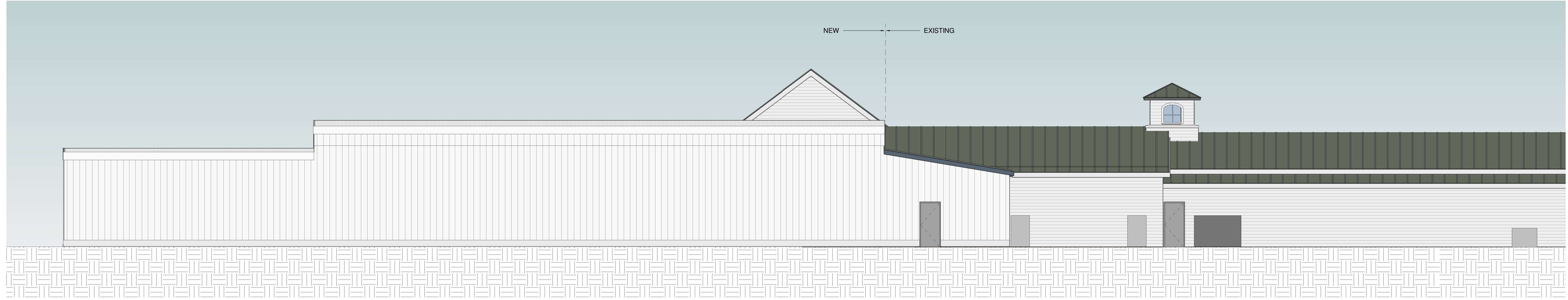
Proposed Addition for:  
**Marty's 1st Stop**  
421 Route 2 Darville, Vermont

NUMBER	DATE	REVISION	SCALE: AS NOTED
			DATE: 01/15/24
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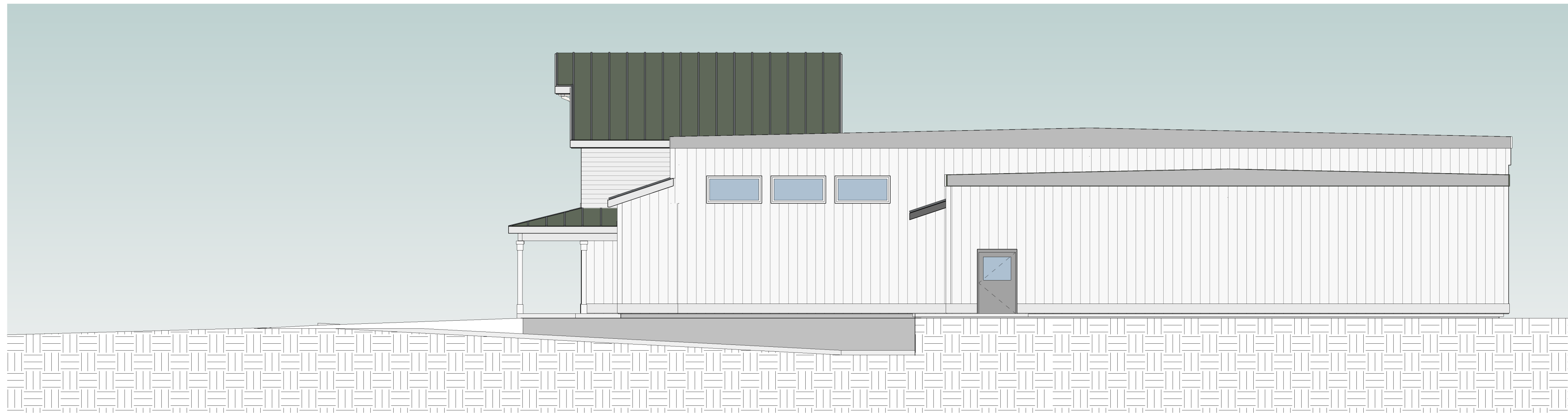
LVL 2 - FLOOR PLAN & BASEMENT PLAN

SHEET NUMBER  
**A102**

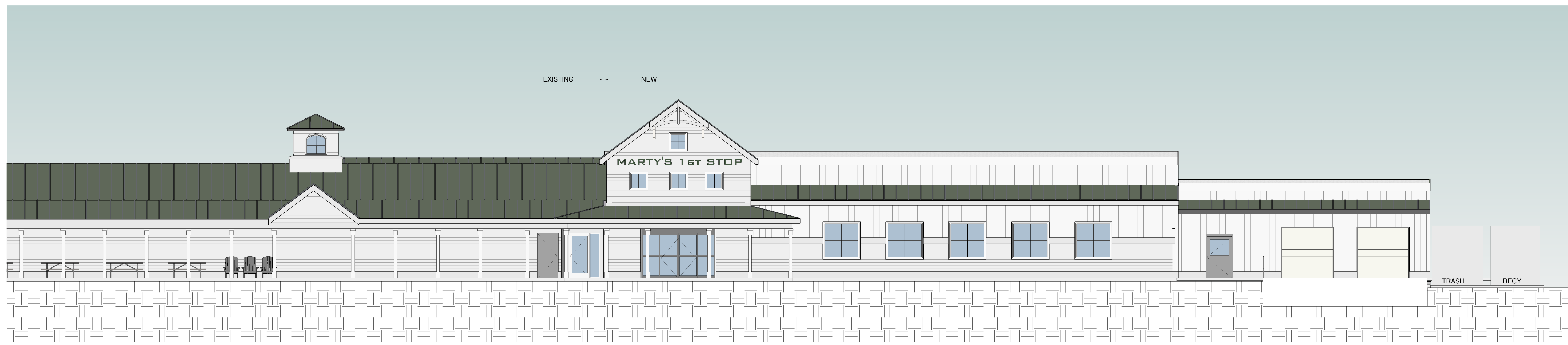




**3 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



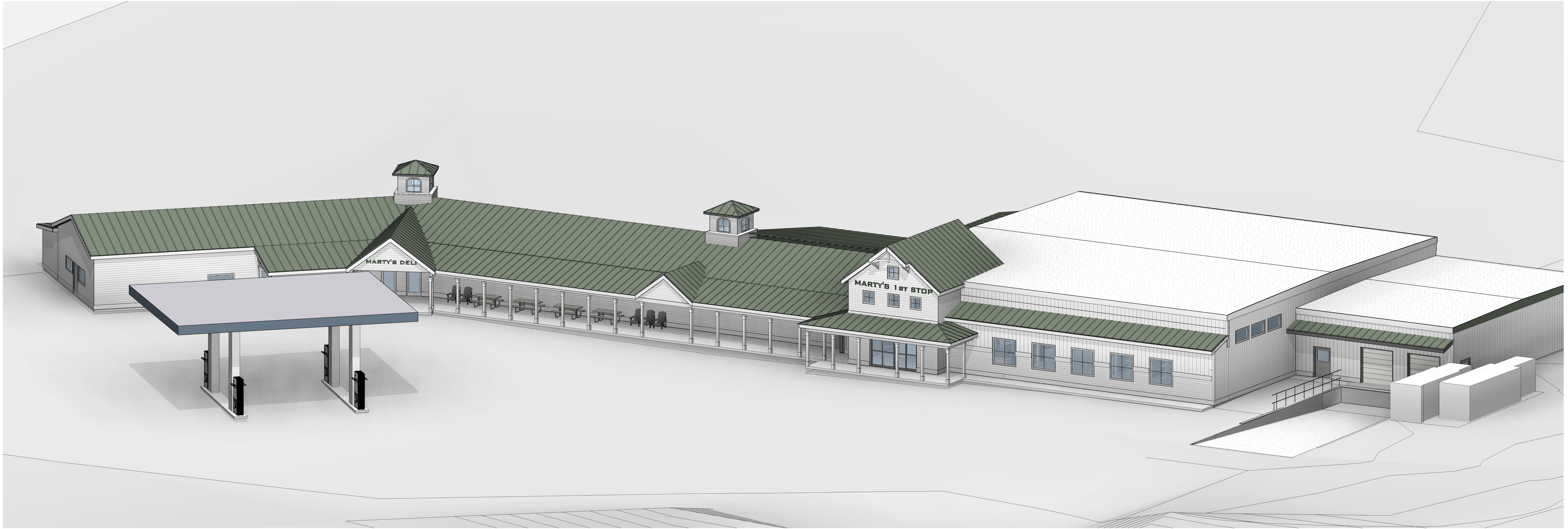
**2 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**1 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

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357 Western Avenue  
 Suite 104  
 P.O. Box 4069  
 St. Johnsbury, Vermont 05819  
 tel: 802 748 5239  
 fax: 802 748 1065  
 www.ehdanson.com

**PROGRESS SET**  
 NOT FOR CONSTRUCTION

DATE:  
 5/10/2024 2:18:18 PM

Proposed Addition for:

**MARTY'S 1st STOP**  
 421 Route 2 Danville, Vermont

PERSPECTIVE

SHEET NUMBER

**A901**





EHDanson  
Associates, PLLC  
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**PROGRESS SET**  
NOT FOR CONSTRUCTION

DATE:  
5/10/2024 2:18:36 PM

Proposed Addition for:  
**MARTY'S 1st STOP**  
421 Route 2 Danville, Vermont

PERSPECTIVES

SHEET NUMBER

**A902**

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